



Village of Round Lake Building Department

442 N. Cedar Lake Road Round Lake, IL 60073

Ph. 847-546-0963 Fax 847-546-1872

www.eroundlake.com

DECK REGULATIONS **CALL THE BLDG. DEPT. AT 847-546-0963 FOR INSPECTIONS**

This guide is not a substitute for any Village Ordinances or related documents, but is intended to supplement their use. Always consult the appropriate Village Ordinances for more detailed information.

Approved building permits become invalid unless work commences within 180 days of the issue date or when no inspections haven conducted within 180 days.

Call JULIE at 1-800-892-0123 for location of utilities prior to digging.

No change to the approved plans is authorized without prior written approval by the code official and only the construction indicated on the attached plans is authorized by the issuance of this permit.

Permit application Guidelines:

Please submit the following to the Round Lake Building Department for the plan review:

1. Building permit application.
2. Homeowner Association approval letter if applicable.
3. One copy of the plat of survey dimensionally locating the deck with respect to the property lines and any buildings on the site.

One copy of the deck plans drawn on graph paper, to scale, including the following:

1. A plan view (as viewed from overhead) of the deck showing post, joist and beam placement with dimensions. The plan view shall indicate all electrical lines, meter locations, pedestals, windows and window wells, exhaust vents and other items located within the construction area.
2. Elevation view as seen from the sides and front.
3. Detail drawings of the stairs, hand rail and guardrails complete with dimensions indicated.
4. Detail drawing showing the attachment to the house including the flashing.
5. Complete material list, including all lumber, fasteners and connectors.

Drawings must indicate all dimensions, be neat, readable and to scale.

Deck Location:

1. Decks are not allowed to be constructed in a drainage or utility easement.
2. Decks shall be maintained in the same side yard setbacks as is required for the principle structure.
3. Overhead utility lines shall be at least (10) feet above any fixed surface and not closer than (3) feet from any edge of the deck.
4. Observe location of all windows and glass doors. Deck shall not block any required egress windows, service equipment or vents. Planning should include a review of all hazards including glazing in windows and doors located within (60) inches of a stairway.
5. For decks in which mowing under may be difficult, vegetation should be removed and the area covered with a landscape fabric and gravel.
6. Storage sheds shall not be incorporated as part of the area under the deck.

Construction Guidelines:

1. Materials required: Decks shall be constructed using approved treated wood, naturally decay resistant wood (redwood, cedar, or similar product) or listed and approved composite products. Nail and screws: Use only approved corrosion resistant fasteners such as stainless or hot dipped galvanized. Aluminum is not allowed in contact with treated wood products. Lag bolts are not allowed.
2. Pier holes shall be a minimum of (42) inches below grade and filled with concrete. A minimum (8) inch anchor bolt is required to be placed in the concrete pier. Posts are not to be installed below grade. Minimum post size shall be (4) inches by (4) inches. Minimum pier foundation diameter shall be (10) inches. All post to beam connections shall be made with galvanized or other approved corrosion resistant framing connectors. Pre-cast concrete pads placed on top of finished grade for deck supports are not permitted. (See figure (7) for post connection to foundation.)
3. All decks shall be designed to support a live load of (40) pounds per square foot.
4. When the deck is attached to the house: All connections between the deck and dwelling shall be flashed. Flashing shall be provided using a corrosion resistant material. Aluminum is not allowed in contact with treated wood products. Ledger board shall be attached as prescribed in Table 502.2.2.1 below or other methods approved by the Building Official. Joists must be attached to the ledger board with joist hangers.
5. Refer to figures (2), (3) and (4) for ledger board fastening pattern.
6. Cantilevers, overhanging joists and beams: Joist should not cantilever past beams by more than (2) feet, nor should beams overhang post by more than (1) foot unless a special design is approved.

7. Notching of posts (deck and guard rail) is not allowed. Beams must bear directly on top of posts.
8. Decks located more than (18) inches above grade shall be provided with a guardrail not less than (36) inches in height. Balusters shall be spaced so that a (4) inch sphere cannot pass through. All guardrails, regardless of deck height, shall be a minimum of (36) inches high. (See figure 1 for guardrail examples.)
9. Open sides of stairs with a rise of (18) inches or more shall have guardrails not less than (34) inches in height measured vertically from the nosing of the treads. Baluster along stairway shall be spaced so that a (4 ³/₄) inch sphere cannot pass through.
10. Decks with (3) or more risers require a handrail on at least one side of the stairs.
11. Handrail height, measured vertically from the sloped plan adjoining the tread nosing, or finish surface of ramp slope, shall not be less than (34) inches and not more than (38) inches. (See figure 6)
12. Handrail grip size: Handrails with a circular cross section shall have an outside diameter of at least (1 ¹/₄) inches and not greater than (2) inches. If the handrail is not circular, it shall have a perimeter dimension of at least (4) inches and not greater than (6 ¹/₄) inches with a maximum cross section dimension of (2 ¹/₄) inches. (See figure 5 for examples.)
13. Handrails must be continuous for full length of flight, from a point directly above the top riser to a point directly above the lowest riser. Handrail ends shall be returned or terminated at newel posts.
14. The stair risers shall not vary more than (3/8) inch from the smallest to the greatest. Maximum stair riser is (7 ³/₄) inches. Minimum stair tread is (10) inches.
15. Open risers are permitted provided that the opening between treads does not exceed or permit the passage of a (4) inch diameter sphere.
16. The opening between adjacent treads is not limited on stairs with a total rise of (30) inches or less.
17. All stairways shall be provided with landings the width of the stairs and at least (36) inches in the direction of travel, measured from the nosing of the last tread.
18. Stairway shall be provided with illumination.

Required Inspections:

1. Piers inspection: After the holes for the piers are dug and prior to pouring any concrete.
2. Ledger board: Prior to attaching board to house for attached decks.
3. Rough framing: After the deck is framed and prior to installing decking.
4. Final: When the deck is completed.

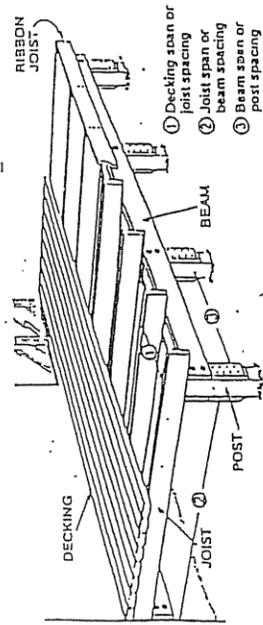
It is the contractor's and ultimately the owner's responsibility to know the village code provisions. The owner or his agent is responsible for constructing all permitted work in compliance with village codes. Failure to identify any aspect of the proposed design not in compliance with the village code during plan review does not relieve the owner of the obligation to achieve full village code compliance. The Code Official cannot list all code sections on the drawings or document.

Additional Resources:

The following websites may provide additional information to assist you with your deck project.

1. Prescriptive deck construction based on the 2006 Building Code:
<http://www.awc.org/Publications/DCA/DCA6/CDA6-09.pdf>
2. Stairway construction and specifications based on the 2006 Building Code:
<http://www.stairways.org>

VILLAGE OF ROUND LAKE
Deck Cross-Section



Joist Size: _____ Beam Size: _____

Support Post Size: _____ Footing Depth: _____
(42" Minimum)

Joist Span: _____ Post Holes: _____
(8" Minimum Diameter)

Joist Spacing: _____ Deck Height above ground: _____ Number of stair treads leading
up to deck: _____

Deck Dimension: _____ Railing: Yes ___ No ___

Deck Board Size: _____ If yes, how high? _____

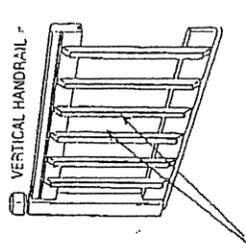
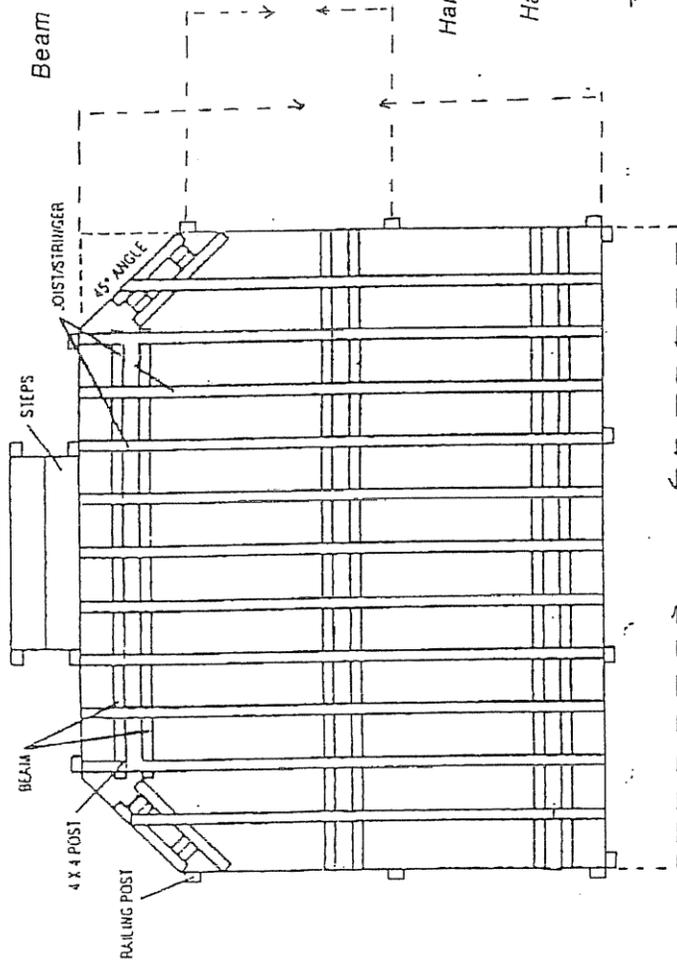
Will the deck be located under electrical lines? Yes ___ No ___

If yes, how many feet above deck floor are electrical lines located? _____

Will deck be attached to home? Yes ___ No ___

Dimension Details

Post Size: _____ Post Spacing: _____ O.C.
 Joist Size: _____ Joist Spacing: _____ O.C.
 Beam Size: _____ Beam Spacing: _____ O.C.

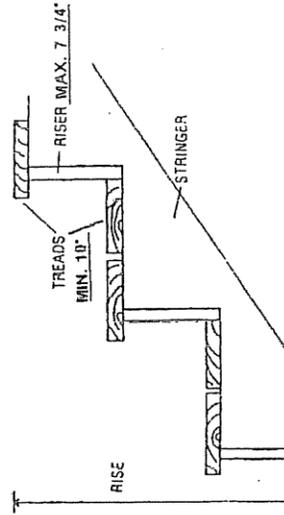


maximum clearance 4"

Handrail Spacing: _____ O.C.

Handrail Height: _____

Treads & Risers



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